

LOCAL DEVELOPMENT PLANS (DETAILED AREA PLANS)

LOT 331 HAMILTON ROAD, SOUTH HEDLAND

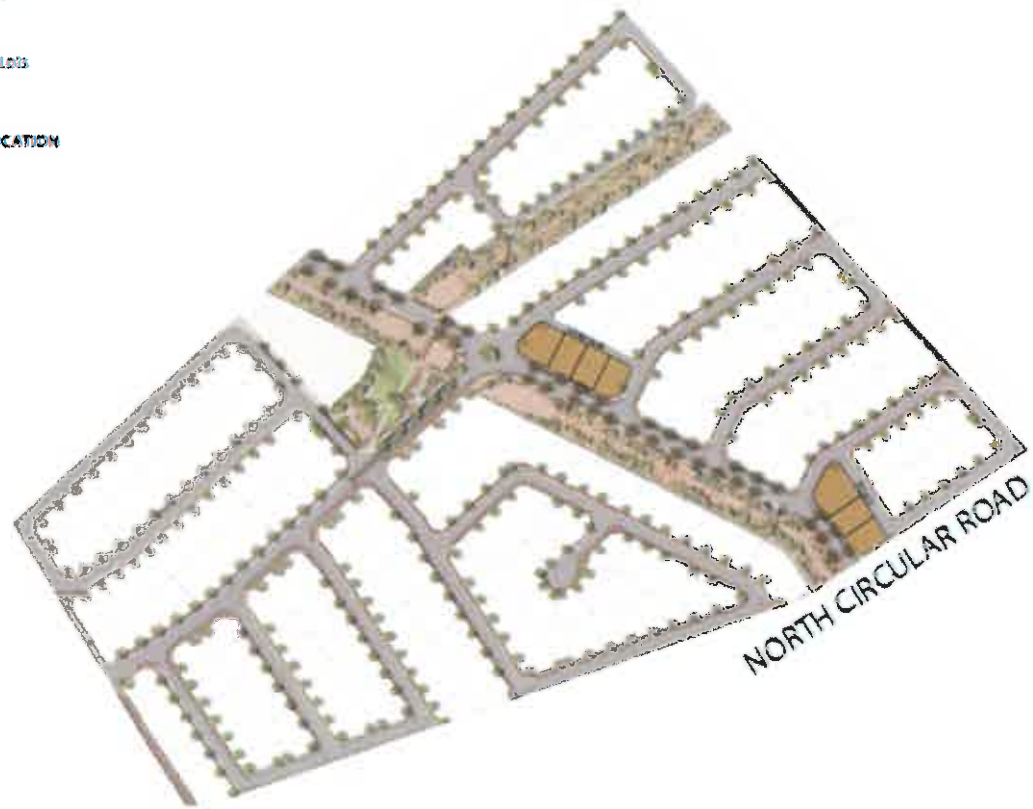
Lot Type A & Lot Type B



Location Plan Lot Type A


Rear Loaded 4 Pack Lots

 LOT LOCATION

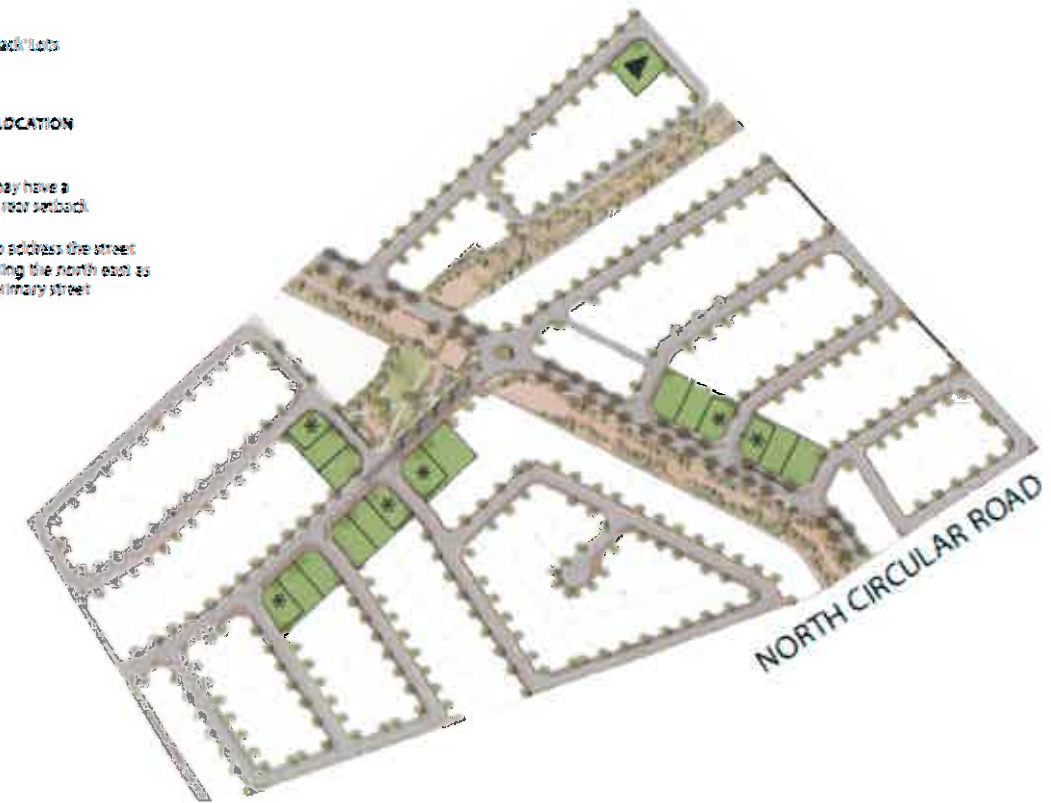


Location Plan Lot Type B

Rear Accessed 4 Pack Lots

 LOT LOCATION

- * Lot may have a 3.0m rear setback
- ▲ Lot to address the street abutting the north east as the primary street



HAMILTON PRECINCT DETAILED AREA PLAN (DAP)

Lot Type A

The requirements of the Residential Design Codes (R-Codes) and any relevant Local Planning Policies are varied as shown on this Detailed Area Plan (DAP).

The requirements for the R-Codes, the Town of Port Hedland Town Planning Scheme and any other relevant policy or legislation shall be satisfied in all other matters.

Setbacks and Height

- All setbacks are as per the plan opposite. Where a setback is not specified within the DAP the provisions of the R-Codes shall prevail.
- The maximum height is two storeys and a loft with a maximum wall height of 7.0m and a maximum roof height of 10.0m, measured from finished ground level.

Garaging

- Garages, carports or parking areas are to be located at the rear, accessed from the rear lane/road and provided with a minimum setback of 1.0m from the laneway/road.

Laneways/Secondary Streets

- All dwellings shall be suitably designed to ensure passive surveillance over the public domain. Dwellings shall have one or more major openings to a habitable room facing the laneway and secondary streets.

Car Parking and Access

- Parking shall be provided as prescribed by the R-Codes, where on street parking is directly abutting a proposed development, this car parking may be used to provide visitor parking.
- Vehicle access is permitted directly onto the laneway or rear street and the crossover may extend to 90% of the rear frontage of the lot.

Stormwater Disposal

- All water draining from roofs and other impermeable surfaces should be directed to garden areas but given the climatic and soil conditions may be directed towards public roads for collection and disposal.


Retaining Walls/Estate Fencing

- Any existing retaining wall and fence is to remain unaltered. No fixtures or appendages shall be added to the fence that may result in an increased wind load during cyclonic events.

This Detailed Area Plan has been approved by the Town of Port Hedland.


Director Planning and Development.

12/1/2015
Date



Hamilton Precinct Detailed Area Plan (DAP) - Lot Type A
Hamilton Road, Port Hedland




Date: 8 Jan 2015 Designer: ER
Scale: NTS @ A3 Drawn: GW

Drawing No. 714-276 DAP Lot Type A.pdf

TOWN PLANNING
AND URBAN DESIGN

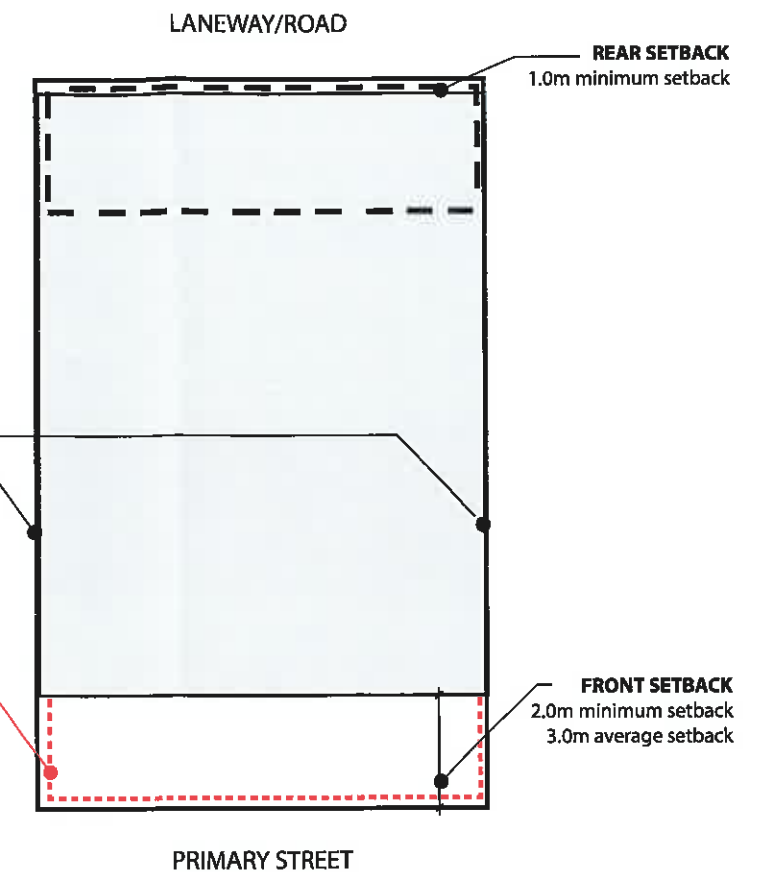
Site Plan Lot Type A

Rear Loaded '4 Pack' Lots

-  **MAXIMUM BUILDING ENVELOPE**
-  **GARAGE/CAR PORT ZONE**
Any garage/car port or store to be setback 1.0m from the rear lot boundary
-  **FENCING**

ZERO LOT LINE
Nil side setback permitted for two storeys on both sides of the dwelling, except where the side abuts a secondary street where setbacks are to be in accordance with the R-Codes.

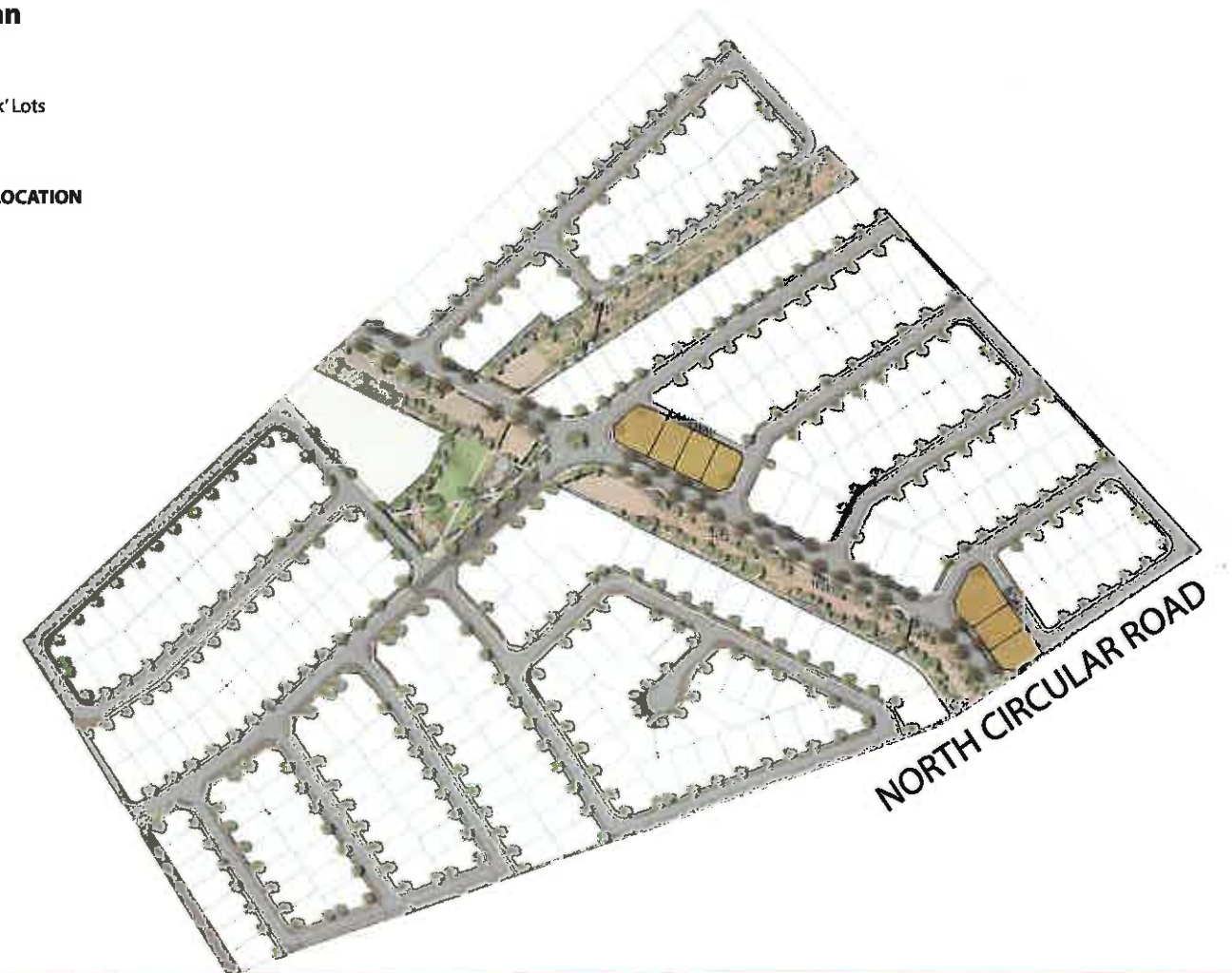
FRONT FENCING
Any fencing forward of the building line to be no higher than 1.2m above any retaining wall and such fencing shall be visually permeable.



Location Plan Lot Type A

Rear Loaded '4 Pack' Lots

-  **LOT LOCATION**



HAMILTON PRECINCT DETAILED AREA PLAN (DAP)

Lot Type B

The requirements of the Residential Design Codes (R-Codes) and any relevant Local Planning Policies are varied as shown on this Detailed Area Plan (DAP).

The requirements for the R-Codes, the Town of Port Hedland Town Planning Scheme and any other relevant policy or legislation shall be satisfied in all other matters.

Setbacks and Height

- All setbacks are as per the plan opposite. Where a setback is not specified within the DAP the provisions of the R-Codes shall prevail.
- The maximum height is two storeys and a loft with a maximum wall height of 7.0m and a maximum roof height of 10.0m, measured from finished ground level.

Garaging

- Garages, carports or parking areas are to be located at the rear, accessed from the secondary street or battleaxe leg (where applicable).

Secondary Streets

- All dwellings shall be suitably designed to ensure passive surveillance over the public domain from an upper level. Dwellings shall have one or more major openings to a habitable room facing the secondary streets.

Car Parking and Access

- Parking shall be provided as prescribed by the R-Codes. Where on street parking is directly abutting a proposed development, this car parking may be used to provide visitor car parking.

Stormwater Disposal

- All water draining from roofs and other impermeable surfaces should be directed to garden areas but given the climatic and soil conditions may be directed towards public roads for collection and disposal.

Retaining Walls/Estate Fencing

- Any existing retaining wall and fence is to remain unaltered. No fixtures or appendages shall be added to the fence that may result in an increased wind load during cyclonic events.

This Detailed Area Plan has been approved by the Town of Port Hedland.


Director Planning and Development.

12/1/2015
Date



Hamilton Precinct Detailed Area Plan (DAP) - Lot Type B
Hamilton Road, Port Hedland




Date: 8 Jan 2015 Designer: ER
Scale: NTS @ A3 Drawn: PR

Drawing No. 711-340 DAP Lot Type B.pdf

TOWN PLANNING
AND URBAN DESIGN

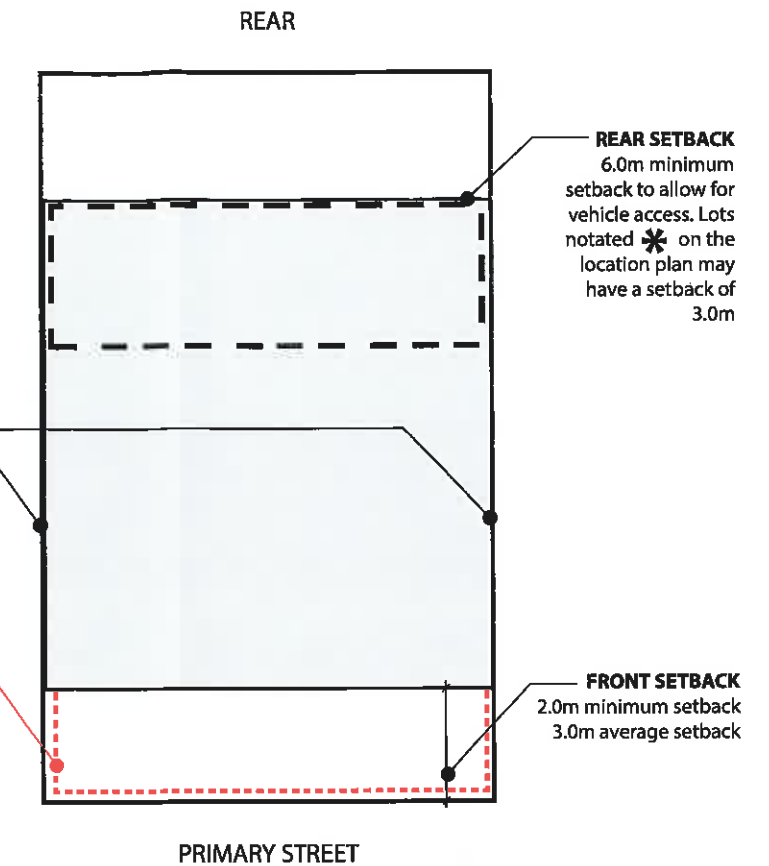
Site Plan Lot Type B

Rear Accessed '4 Pack' Lots

-  **MAXIMUM BUILDING ENVELOPE**
-  **GARAGE/CAR PORT ZONE**
Any garage/car port or store to be setback 6.0m from the rear lot boundary unless otherwise indicated by *
-  **FENCING**


ZERO LOT LINE
Nil side setback permitted for two storeys on both sides of the dwelling, except where the side abuts a secondary street where setbacks are to be in accordance with the R-Codes.

FRONT FENCING
Any fencing forward of the building line to be no higher than 1.2m above any retaining wall and such fencing shall be visually permeable.



Location Plan Lot Type B

Rear Accessed '4 Pack' Lots

-  **LOT LOCATION**
- * Lot may have a 3.0m rear setback
- ▲ Lot to address the street abutting the north east as the primary street

