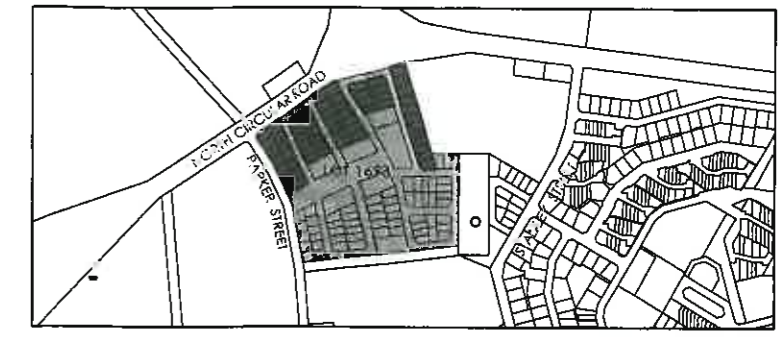


**LEGEND**

- Subject Property Boundaries
- Surrounding Property Boundaries
- No Vehicle Access
- - - Setbacks (distances vary as shown)
- Primary Frontage
- Secondary Frontage
- ⊠ Designated Garage/Carport Location



LOCATION PLAN DAPs LOT 1693

**RESIDENTIAL DESIGN CODES VARIATION TABLE**  
 The following variations to the Residential Design Codes constitute Acceptable Development for all lots included within this Detailed Area Plan.

Any development which complies with the R-Codes or the requirements of any Detailed Area Plan and associated R-Codes Variation Table does not require a separate planning approval or consultation with neighbours or other landowners.

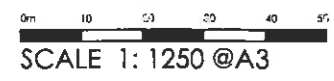
Except as provided for by this Detailed Area Plan/R-Codes Variation Table, all other R-Codes requirements apply.

1) General Provisions	
Town Planning Scheme No. 5 Zoning	Urban Development
R Coding	Residential R25
2) Building Setbacks	
Lots	101-160 inclusive
Primary Street Setback	3m minimum, 6m maximum
Secondary Street Setback	1.5m minimum
No averaging to primary and secondary street setbacks permitted.	
3) Private Open Space	
Minimum total % of Site	40%
3) Garages and Vehicular Access	
a) Designated garage and carport locations are mandatory;	
b) The garage or carport shall not dominate the front elevation. To comply with this requirement the garage or carport shall be setback to align with the proposed dwelling setback;	
4) Dwelling Orientation	
c) Dwellings are to orientate towards the nominated primary street frontage by containing a major opening to a living and/or master bedroom;	
d) The outdoor living area must be accessed via a living room;	
e) The dwelling entry must be clearly visible from the street.	
5) Fencing	
f) Fencing to the front boundary is strongly discouraged. Where primary street fencing is desired: <ul style="list-style-type: none"> <li>• it may be no higher than 1.2m;</li> <li>• any landscape hedge shall not be higher than 1.6m;</li> <li>• it is not permitted to be constructed from tubular steel with looped or curved tops, or colorbond fencing;</li> <li>• it shall be more than 50% visually permeable; and</li> <li>• any tubular steel fencing must contain a top rail to cap vertical balusters.</li> </ul>	
g) For Lots 107 and 108, any fencing proposed adjoining the drainage swales along Road 1 may be up to 1.8m high and is required to be visually permeable above 1.2m.	
h) For fencing along lot boundaries abutting secondary streets, fencing is to be a maximum of 1.8m high that is at least 50% visually permeable above 1.2m from the finished lot level for the forward most 15.0m of the external side boundary.	
6) Retaining Walls	
i) All retaining walls throughout the estate shall be constructed of a consistent material.	

**DETAILED AREA PLAN No. 1**  
 LOT 1693 PARKER STREET, SOUTH HEDLAND  
 (Proposed lots 101-160)  
 Town of Port Hedland

CLIENT  
 CEDAR WOODS PROPERTIES

PREPARED BY  
 JULIE HARROLD ARCHITECT  
 Disclaimer: Issued for design intent only.  
 All areas and dimensions are subject to detail design and survey.



REFERENCE NUMBER: CWP STH 001  
 DRAWING NUMBER: 001  
 ISSUE: C  
 ISSUE TO TOWN OF PORT HEDLAND: 18 07 12  
 ISSUE TO TOWN OF PORT HEDLAND: 24 05 12  
 DESCRIPTION: DATE

The Detailed Area Plan has been endorsed by the Town of Port Hedland:  
 Manager Planning Services  
 Town of Port Hedland  
 Date: 7/8/2012

LEGEND

- Subject Property Boundaries
- Surrounding Property Boundaries
- No Vehicle Access
- Setbacks (distances vary as shown)
- Primary Frontage
- Secondary Frontage
- Designated Garage/Carport Location



LOCATION PLAN ■ DAPs ■ LOT 1693

**RESIDENTIAL DESIGN CODES VARIATION TABLE**

The following variations to the Residential Design Codes constitute Acceptable Development for all lots included within this Detailed Area Plan.

Any development which complies with the R-Codes or the requirements of any Detailed Area Plan and associated R-Codes Variation Table does not require a separate planning approval or consultation with neighbours or other landowners.

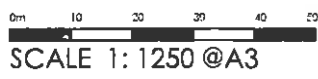
Except as provided for by this Detailed Area Plan/R-Codes Variation Table, all other R-Codes requirements apply.

1) General Provisions	
Town Planning Scheme No. 5 Zoning	Urban Development
R Coding	Residential R25
2) Building Setbacks	
Lots	161-217 inclusive
Primary Street Setback	3m minimum, 6m maximum
Secondary Street Setback	1.5m minimum
No averaging to primary and secondary street setbacks permitted.	
3) Private Open Space	
Minimum total % of Site	40%
3) Garages and Vehicular Access	
a) Designated garage and carport locations are mandatory;	
b) The garage or carport shall not dominate the front elevation. To comply with this requirement the garage or carport shall be setback to align with the proposed dwelling setback;	
4) Dwelling Orientation	
c) Dwellings are to orientate towards the nominated primary street frontage by containing a major opening to a living and/or master bedroom;	
d) The outdoor living area must be accessed via a living room;	
e) The dwelling entry must be clearly visible from the street.	
5) Fencing	
f) Fencing to the front boundary is strongly discouraged. Where primary street fencing is desired: <ul style="list-style-type: none"> <li>• it may be no higher than 1.2m;</li> <li>• any landscape hedge shall not be higher than 1.6m;</li> <li>• it is not permitted to be constructed from tubular steel with looped or curved tops, or colorbond fencing;</li> <li>• it shall be more than 50% visually permeable; and</li> <li>• any tubular steel fencing must contain a top rail to cap vertical balusters.</li> </ul>	
g) For Lots 207 and 217, any fencing proposed adjoining the drainage swales along Road 1 may be up to 1.8m high and is required to be visually permeable above 1.2m.	
h) For fencing along lot boundaries abutting secondary streets, fencing is to be a maximum of 1.8m high that is at least 50% visually permeable above 1.2m from the finished lot level for the forward most 15.0m of the external side boundary.	
6) Retaining Walls	
i) All retaining walls throughout the estate shall be constructed of a consistent material.	

**DETAILED AREA PLAN No. 2**  
 LOT 1693 PARKER STREET, SOUTH HEDLAND  
 (Proposed lots 161-217)  
 Town of Port Hedland

CLIENT  
**CEDAR WOODS PROPERTIES**

PREPARED BY  
**JULIE HARROLD ARCHITECT**  
 Disclaimer: Issued for design intent only.  
 All areas and dimensions are subject to detail design and survey.

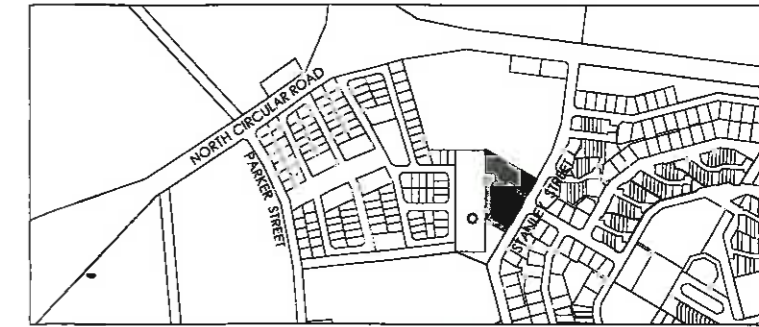
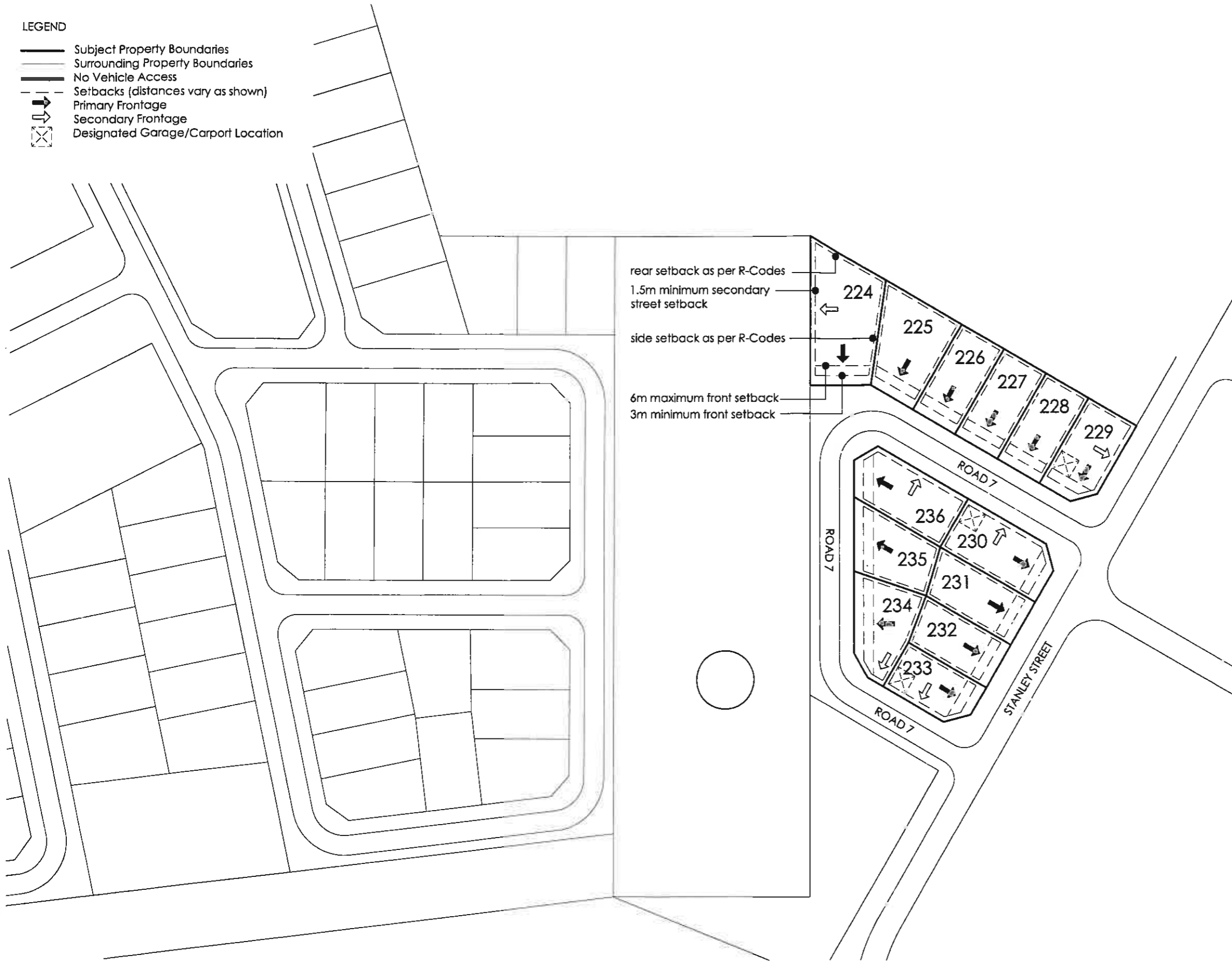


REFERENCE NUMBER: CWP STH 002  
 DRAWING NUMBER: 002  
 ISSUE: C  
 DATE: 01/13/12

The Detailed Area Plan has been endorsed by the Town of Port Hedland:  
 Manager Planning Services  
 Town of Port Hedland  
 Date: 7/18/2012

LEGEND

- Subject Property Boundaries
- Surrounding Property Boundaries
- No Vehicle Access
- Setbacks (distances vary as shown)
- Primary Frontage
- Secondary Frontage
- Designated Garage/Carport Location



LOCATION PLAN DAPs LOT 2119

**RESIDENTIAL DESIGN CODES VARIATION TABLE**

The following variations to the Residential Design Codes constitute Acceptable Development for all lots included within this Detailed Area Plan.

Any development which complies with the R-Codes or the requirements of any Detailed Area Plan and associated R-Codes Variation Table does not require a separate planning approval or consultation with neighbours or other landowners.

Except as provided for by this Detailed Area Plan/R-Codes Variation Table, all other R-Codes requirements apply.

**1) General Provisions**

Town Planning Scheme No. 5 Zoning	Urban Development
R Coding	Residential R25

**2) Building Setbacks**

Lots	224-236 inclusive
Primary Street Setback	3m minimum, 6m maximum
Secondary Street Setback	1.5m minimum

No averaging to primary and secondary street setbacks permitted.

**3) Private Open Space**

Minimum total % of Site	40%
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**3) Garages and Vehicular Access**

- a) Designated garage and carport locations are mandatory;
- b) The garage or carport shall not dominate the front elevation. To comply with this requirement the garage or carport shall be setback to align with the proposed dwelling setback;

**4) Dwelling Orientation**

- c) Dwellings are to orientate towards the nominated primary street frontage by containing a major opening to a living and/or master bedroom;
- d) The outdoor living area must be accessed via a living room;
- e) The dwelling entry must be clearly visible from the street.

**5) Fencing**

- f) Fencing to the front boundary is strongly discouraged. Where primary street fencing is desired:
  - it may be no higher than 1.2m;
  - any landscape hedge shall not be higher than 1.6m;
  - it is not permitted to be constructed from tubular steel with looped or curved tops, or colorbond fencing;
  - it shall be more than 50% visually permeable; and
  - any tubular steel fencing must contain a top rail to cap vertical balusters.
- g) For fencing along lot boundaries abutting secondary streets, fencing is to be a maximum of 1.8m high that is at least 50% visually permeable above 1.2m from the finished lot level for the forward most 15.0m of the external side boundary.

**6) Retaining Walls**

- h) All retaining walls throughout the estate shall be constructed of a consistent material.

The Detailed Area Plan has been endorsed by the Town of Port Hedland:

Manager Planning Services  
Town of Port Hedland

*[Signature]*

Date: 7/8/2012

**DETAILED AREA PLAN No. 3**  
LOT 2119 STANLEY STREET, SOUTH HEDLAND  
(Proposed lots 224-236)  
Town of Port Hedland

CLIENT  
CEDAR WOODS PROPERTIES

PREPARED BY  
JULIE HARROLD ARCHITECT  
Disclaimer: Issued for design intent only.  
All areas and dimensions are subject to detail design and survey.

0m 10 20 30 40 50  
SCALE 1: 1250 @A3

REFERENCE NUMBER  
CWP STH 003

ISSUE  
C



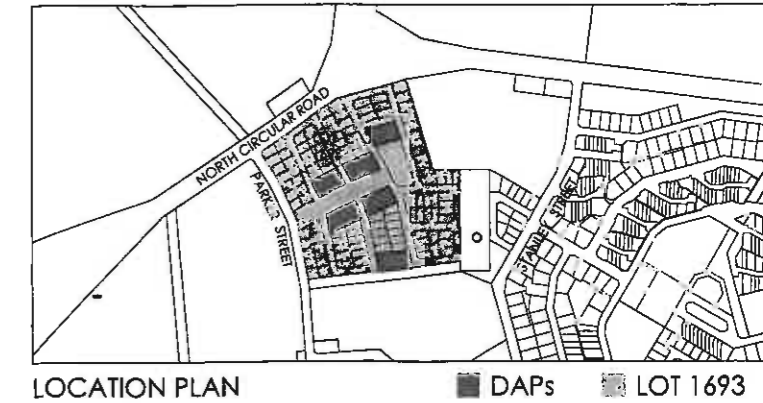
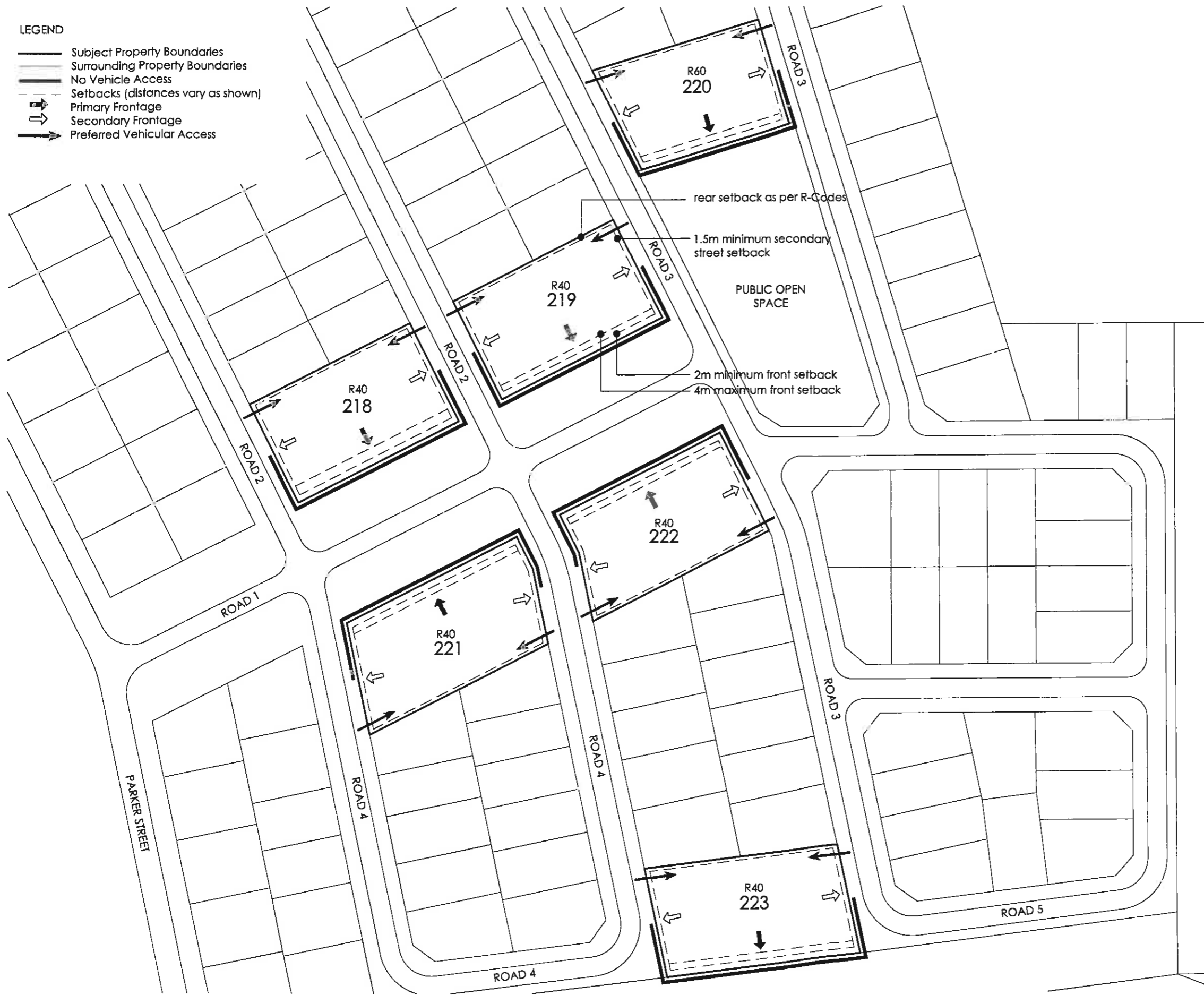
C  
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A  
ISSUE

ISSUE TO TOWN OF PORT HEDLAND  
ISSUE TO TOWN OF PORT HEDLAND  
ISSUE TO TOWN OF PORT HEDLAND  
DESCRIPTION

01 01 12  
18 04 12  
24 03 12  
DATE

**LEGEND**

- Subject Property Boundaries
- Surrounding Property Boundaries
- No Vehicle Access
- Setbacks (distances vary as shown)
- Primary Frontage
- Secondary Frontage
- Preferred Vehicular Access



**RESIDENTIAL DESIGN CODES VARIATION TABLE**

The following variations to the Residential Design Codes constitute Acceptable Development for all lots included within this Detailed Area Plan.

Any development which complies with the R-Codes or the requirements of any Detailed Area Plan and associated R-Codes Variation Table does not require a separate planning approval or consultation with neighbours or other landowners.

Except as provided for by this Detailed Area Plan/R-Codes Variation Table, all other R-Codes requirements apply.

1) General Provisions	
Town Planning Scheme No. 5 Zoning	Urban Development
R Coding	Residential R40 / R60 as noted.
2) Building Setbacks	
Lots	218-223 inclusive
Primary Street Setback	2m minimum, 4m maximum
Secondary Street Setback	1.5m minimum
No averaging to primary and secondary street setbacks permitted.	
3) Private Open Space	
Minimum total % of Site	35%
3) Garages and Vehicular Access	
a) Vehicular access is to be via the preferred access point.	
4) Dwelling Orientation	
b) Dwellings are to orientate towards the nominated primary street frontage by containing a major opening to a living and/or master bedroom.	
c) The outdoor living area must be accessed via a living room.	
5) Fencing	
d) For Lots 218, 219, 220, 221, 222 and 223, any fencing proposed adjoining the area of public open space or the drainage swales may be up to 1.8m high and is required to be visually permeable above 1.2m.	
e) For fencing along lot boundaries abutting secondary streets, fencing is to be a maximum of 1.8m high that is at least 50% visually permeable above 1.2m from the finished lot level for the forward most 15.0m of the external side boundary.	
6) Retaining Walls	
f) All retaining walls throughout the estate shall be constructed of a consistent material.	

**DETAILED AREA PLAN No. 4**  
 LOT 1693 PARKER STREET, SOUTH HEDLAND  
 (Proposed lots 218-223)  
 Town of Port Hedland

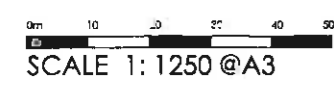
CUSTOMER  
 CEDAR WOODS PROPERTIES

PREPARED BY  
 JULIE HARROLD ARCHITECT  
 Disclaimer: Issued for design intent only.  
 All areas and dimensions are subject to detail design and survey.

The Detailed Area Plan has been endorsed by the Town of Port Hedland:

Manager Planning Services  
 Town of Port Hedland

*[Signature]*  
 Date: 7/8/2012



REFERENCE NUMBER	DRAWING NUMBER	ISSUE	DATE
CWP STH	004	C	11 03 12